

# **ESSENTIAL SERVICES REPORT**

## **Proposed Development:**

### **495 Fourth Avenue, Austral**

The project will consist of a full-line supermarket with associated DTB capabilities, BWS, specialty retail, commercial space and a combination of on-grade and basement car parking.

Report compiling essential services advise from:

#### **APPENDIX A - ELECTRICAL ASP3: Power Solutions Pty Ltd**

- Concept ASP3 servicing strategy to accommodate the proposed development.

**APPENDIX B - HYDRAULIC SERVICES:** Henry & Hymas Engineers incl. feasibility letter from Sydney Water.

- Report capturing hydraulic related services currently servicing the site with initial advice/options to accommodate the proposed development.

#### **APPENDIX C - NBN SERVICES:** Northrop.

- NBN mark-up noting available infrastructure and connection options to accommodate the proposed development.

## **APPENDIX A - ELECTRICAL ASP3**

# Electrical Investigation Report

## 495 Fourth Avenue Austral

---



**November 2023**

---



Suite C106 The Landmark  
215 Pacific Hwy CHARLESTOWN NSW  
PO BOX 278 CHARLESTOWN NSW 2290  
**1300 732 293**  
projects@powersol.com.au

## DOCUMENT CONTROL

Version	Date	Author	Reviewer	Revision Details
A	20/11/2023	Raiyan Shariar	Hammad Ansari	Initial Issue

## TABLE OF CONTENTS

<b>DOCUMENT CONTROL .....</b>	<b>2</b>
<b>SCOPE.....</b>	<b>3</b>
<b>1. EXISTING ELECTRICAL NETWORK.....</b>	<b>4</b>
230V/4100V - LOW VOLTAGE NETWORK .....	4
11kV – HIGH VOLTAGE NETWORK .....	4
TRANSMISSION NETWORK.....	4
ENVIRONMENTAL IMPACT .....	5
<b>2. DEVELOPMENT SERVICING STRATEGY .....</b>	<b>5</b>
MAXIMUM DEMAND.....	5
PROPOSED 11kV NETWORK .....	5
PROPOSED LV NETWORK .....	6
<b>3. CONCLUSION .....</b>	<b>6</b>
<b>APPENDIX A – EXISTING ELECTRICAL INFRASTRUCTURE .....</b>	<b>7</b>
<b>APPENDIX B – PROPOSED ELECTRICAL INFRASTRUCTURE.....</b>	<b>8</b>
<b>APPENDIX C – CONSTRUCTION COSTING ESTIMATES.....</b>	<b>9</b>
<b>APPENDIX D – ENDEAVOUR ENERGY ENVIRONMENTAL IMPACT SUMMARY.....</b>	<b>10</b>

## SCOPE

This report has been prepared by Power Solutions as part of an electrical servicing strategy for the proposed site. The review was commissioned by Woolworths. The intention of this report is to;

- Review Endeavour Energy WebGIS systems and Google Streetview records to identify existing electrical infrastructure within vicinity of development.
- Provide summary report outlining findings inclusive of; Endeavour Energy expected servicing requirements, concept design & possible lead in requirements.
- Provide approximate construction costs for the works.

The concept development layout consists of proposed development on Lot 121 DP1220414. The project site is approximately 4.1km north of Bringelly Road and 3.5km west of Westlink M7.

## 1. EXISTING ELECTRICAL NETWORK

### 230V/4100V - Low Voltage Network

---

Endeavour Energy GIS shows there is existing LV OH/UG network near the development site at the following locations:

1. Overhead LV mains located across the road on Fourth Avenue.
2. Underground LV mains located on the north side of Gurner Avenue.
3. There are existing SL streetlights located on existing poles on Fourth Avenue and underground streetlight columns Gurner Avenue.

### 11kV – High Voltage Network

---

Endeavour Energy GIS shows there is existing HV OH/UG network near the development site at the following locations:

1. Overhead HV mains located across the road on Fourth Avenue.
2. Underground HV mains located on the north side of Gurner Avenue.
3. Existing HV feeder KC1284 is located adjacent to the development site.
4. There is an existing padmount transformer 33856 located on the northern side of Gurner Avenue.

### Transmission Network

---

There are no transmission assets located adjacent to the proposed development site.

---

## Environmental Impact

---

High level environmental searches have been conducted for this initial investigation. A complete Summary Environmental Report will need to be prepared and approved by Endeavour Energy Certifier prior to commencing any construction works on site.

- 1) The following number of MNES present in the project area.

Listed Threatened Ecological Communities 5

Listed Threatened Species 49

Listed Migratory Species 14

- 2) The site is not found in EPA contaminated land register.
- 3) The site does not have any Aboriginal Heritage items.

Details of the environmental impacts can be found in Appendix D.

## 2. DEVELOPMENT SERVICING STRATEGY

---

### Maximum Demand

---

No maximum demand calculation was received at the time of this report. It is generally possible for new substation up to the size of 1500 KVA to be connected to the existing network.

---

### Proposed 11kV Network

---

As detailed in the "AUSTRAL\_NORTH\_MP\_007" plan received, it indicates that a new padmount substation be installed fronting Fourth Avenue. Based on this, a substation will be positioned in the proposed vegetated flat area fronting Fourth Avenue. New cable is to be connected from the proposed substation to existing poles 603484 and 603485 via overhead UGOH connections. During site visit, it will be determined if the pole is in good condition and if adjustments need to be made cross-arms to allow for cable connections to the pole.

Please refer to Appendix B.

**Note: Quantity and location of substations is based on a high-level assessment and information obtained from client and will need to be confirmed once a finalised architectural plan has been received.**

---

## Proposed LV Network

---

One new cable is to be connected from the proposed substation to either existing pole 603484 or 603485 via overhead UGOH connections. During site visit, it will be determined in the pole is in good condition and if adjustments need to be made cross-arms to allow for cable connections to the pole. If pole 603485 is required to be removed, then new lighting design may be required.

Please refer to Appendix B.

## 3. CONCLUSION

- A. A new substation needs to be installed to provide power to the proposed lots. Our understanding is that 1500kVA pad mount substation will be sufficient for the proposed development. Refer to Appendix B on page 9. The construction cost of the works is approximately **\$412k**.
- B. Augmentation of high voltage and low voltage network is required to loop the new substation into the network.
- C. Existing poles may need to be replaced but will need to be determined during site visit.
- D. Road crossing of Fourth Avenue required for new cable installations.

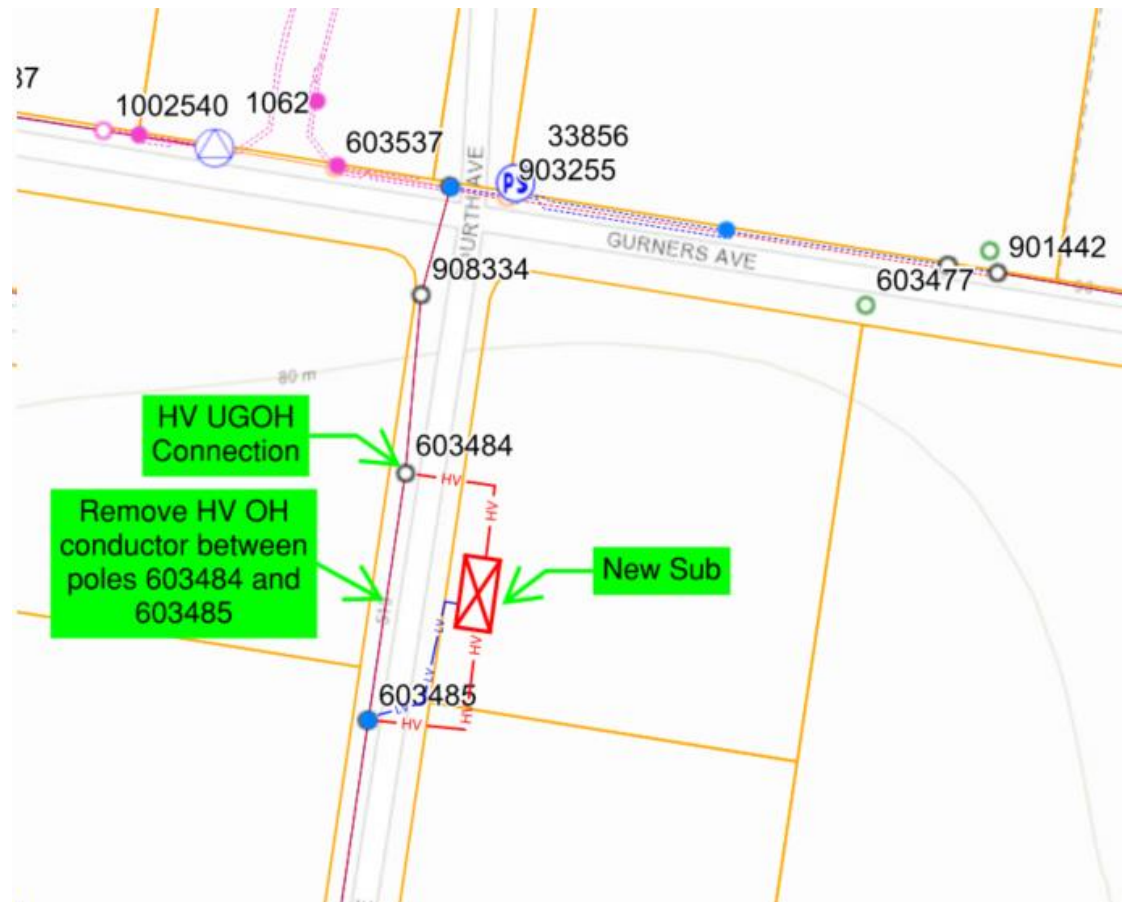


## APPENDIX A – EXISTING ELECTRICAL INFRASTRUCTURE



Note: Only relevant assets are shown for the sake of clarity.

## APPENDIX B – PROPOSED ELECTRICAL INFRASTRUCTURE



Note: Only relevant assets are shown for the sake of clarity. Public lighting will be required if pole 603485 is required to be modified or replaced.

## APPENDIX C – CONSTRUCTION COSTING ESTIMATES

Budget Construction Estimate			
	<b>Job No.:</b>	<b>6067</b>	
	<b>Location:</b>	<b>Austral</b>	
	<b>Client:</b>	<b>Shaun Carrey</b>	
	<b>Estimate by:</b>	<b>Raiyan Shariar</b>	
<b>ASP1 COSTS</b>		<b>Overhead Works</b>	\$19,700.00
		<b>Underground Works</b>	\$51,155.45
		<b>Substation Costs</b>	\$253,500.00
		<b>Total (with 20% Margin)</b>	<b>\$389,226.54</b>
		<b>Ancillary Fees</b>	<b>\$12,824.00</b>
<b>EE Design fee</b>		<b>Initial Application</b>	\$500.00
		<b>Design service and Certification</b>	\$10,000.00
		<b>Construction Services Fees</b>	TBC
		<b>Total</b>	<b>\$10,500.00</b>
		<b>Total Costs</b>	<b>\$412,550.54</b>

Note:

This pricing is a high level estimate only. This cost does not include civil cost, vegetation reinstatement etc.

## APPENDIX D – ENDEAVOUR ENERGY ENVIRONMENTAL IMPACT SUMMARY

Please refer to the next few sheets attached in this report.

### Search results

Your search for: Suburb: AUSTRAL

did not find any records in our database.

If a site does not appear on the record it may still be affected by contamination. For example:

- Contamination may be present but the site has not been regulated by the EPA under the Contaminated Land Management Act 1997 or the Environmentally Hazardous Chemicals Act 1985.
- The EPA may be regulating contamination at the site through a licence or notice under the Protection of the Environment Operations Act 1997 (POEO Act).
- Contamination at the site may be being managed under the [planning process](#).

More information about particular sites may be available from:

- The [POEO public register](#)
- The appropriate planning authority: for example, on a planning certificate issued by the local council under [section 149 of the Environmental Planning and Assessment Act](#).

See [What's in the record and What's not in the record](#).

Search Again

Refine Search

#### Search TIP

To search for a specific site, search by LGA (local government area) and carefully review all sites listed.

... [more search tips](#)

## **APPENDIX B - HYDRAULIC SERVICES**



9 February 2024

Our Ref: A231125/ Infra.H4 GJN

Woolworths Group  
C/- Fabcot Pty Ltd  
1 Woolworths Way,  
Bella Vista NSW 2153.

Attention: Shaun Carrey & Nikita Mapapatra

**RE: PROPOSED RETAIL DEVELOPMENT  
Lot 121 – 495 FOURTH AVENUE AUSTRAL NORTH NSW  
SEWER & WATER SITE WIDE WATER INFRASTRUCTURE.**

#### **Sewer and Water Site Wide Infrastructure Executive Summary**

The report advises Fabcot of the risks and opportunities at design with respect to Sewer and Water Infrastructure.

Presently, the subject Site has NO sewerage services waste water line available for easy connection.

As can be seen, in the sewer exert, from the Sydney Water Growth Servicing Plan 2022-2027 Austral North presently has limited existing sewer trunk capacity. Our estimation suggest that achieving full capacity for Austral North and Leppington is anticipated beyond FY 2027.

#### **Engagement with Sydney Water.**

On **8 December 2023**, a draft Section 73 application was lodged to Sydne Water, via Opal Water Management, our third-party Water Services Coordinators. We anticipated receipt of an Advice Notice from Sydney Water, in late February 2024.

On **29 January 2024**, we received Sydney Water Corporation Notice of Requirements.

The key findings of the NOR are noted below.



## SWC - Infrastructure Contributions Response

Infrastructure contributions for drinking water and wastewater will be payable on all developments that require a Section 73 Compliance Certificate to be issued from 1 July 2024 onwards. Infrastructure contributions help recover the cost of providing infrastructure to new developments. Please refer to the Costs section of this letter for more information.

## SWC – Sewer Response

We've assessed your application and found that:

Proposed development falls within the existing SP1190 catchment. **A lead-in extension is required to service the land.** WSC need to coordinate with downstream developments in the Gurner Ave for the lead-in main extension from SP1190 upstream section.

A natural catchment plan, flow schedule and sewer long section detail is required for the extension. The design needs to meet Sydney Water standard

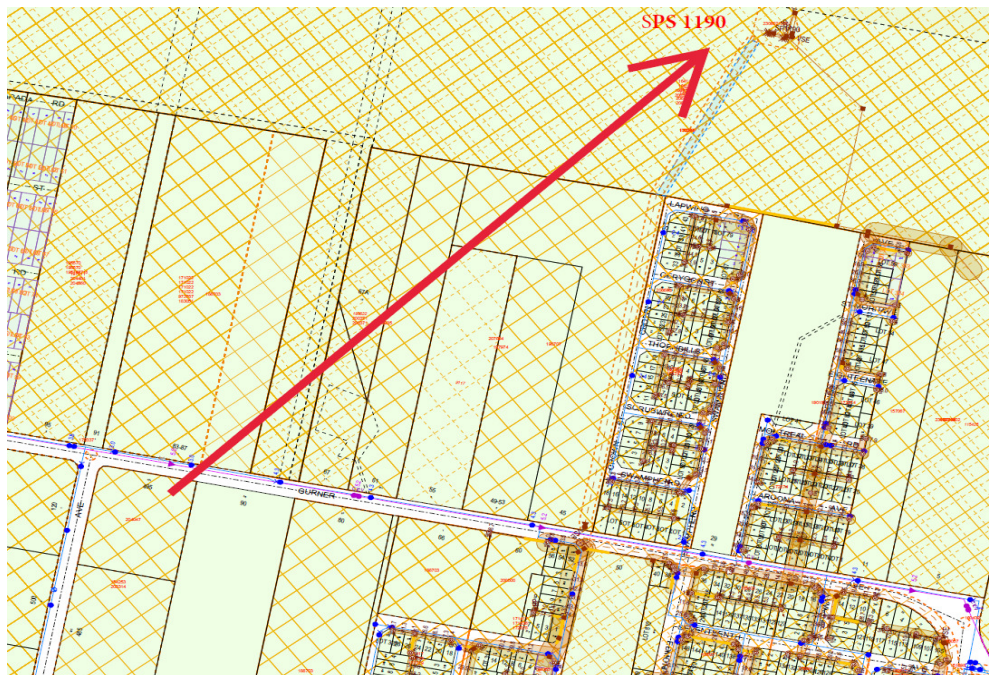


Figure 1. Overall position of Woolworths Austral North Site. There is a existing Sewer Pump Station and receiving gravity network to the East. Further investigations to the available point of discharge.



Option 1. Sewer drainage via direction laser bore to the East

- Provide a 400m long, gravity, directional laser bored sewer main, via 4 x 110m shots, ultimately connection to the existing 150dia sewer to the East.

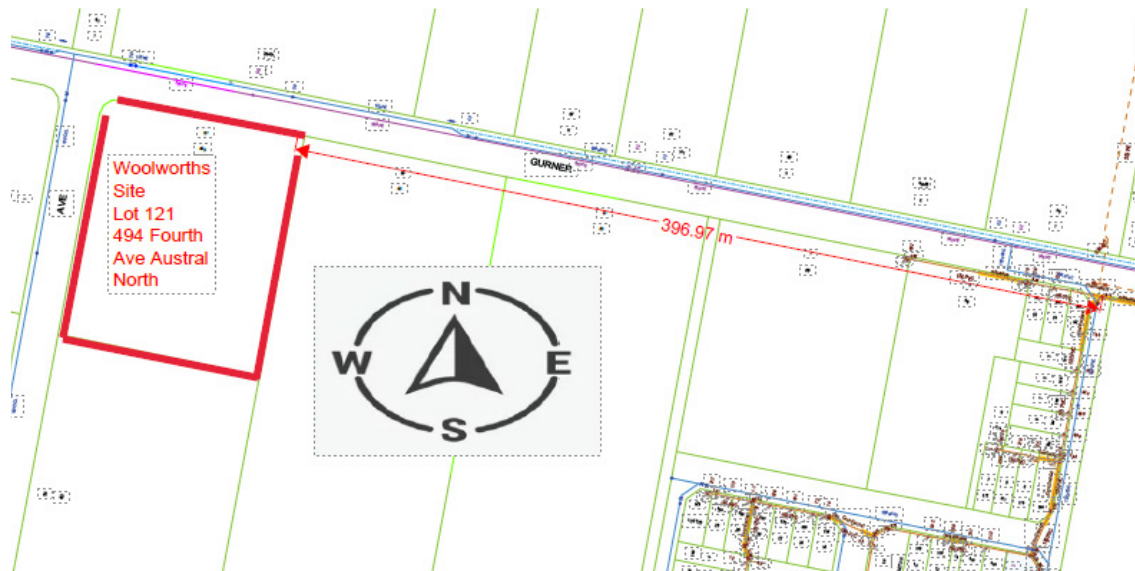


Figure 2. Option 1. Potential receiving sewers, approx. 7.75m deep, 400m to the East of Site





henry&hymas

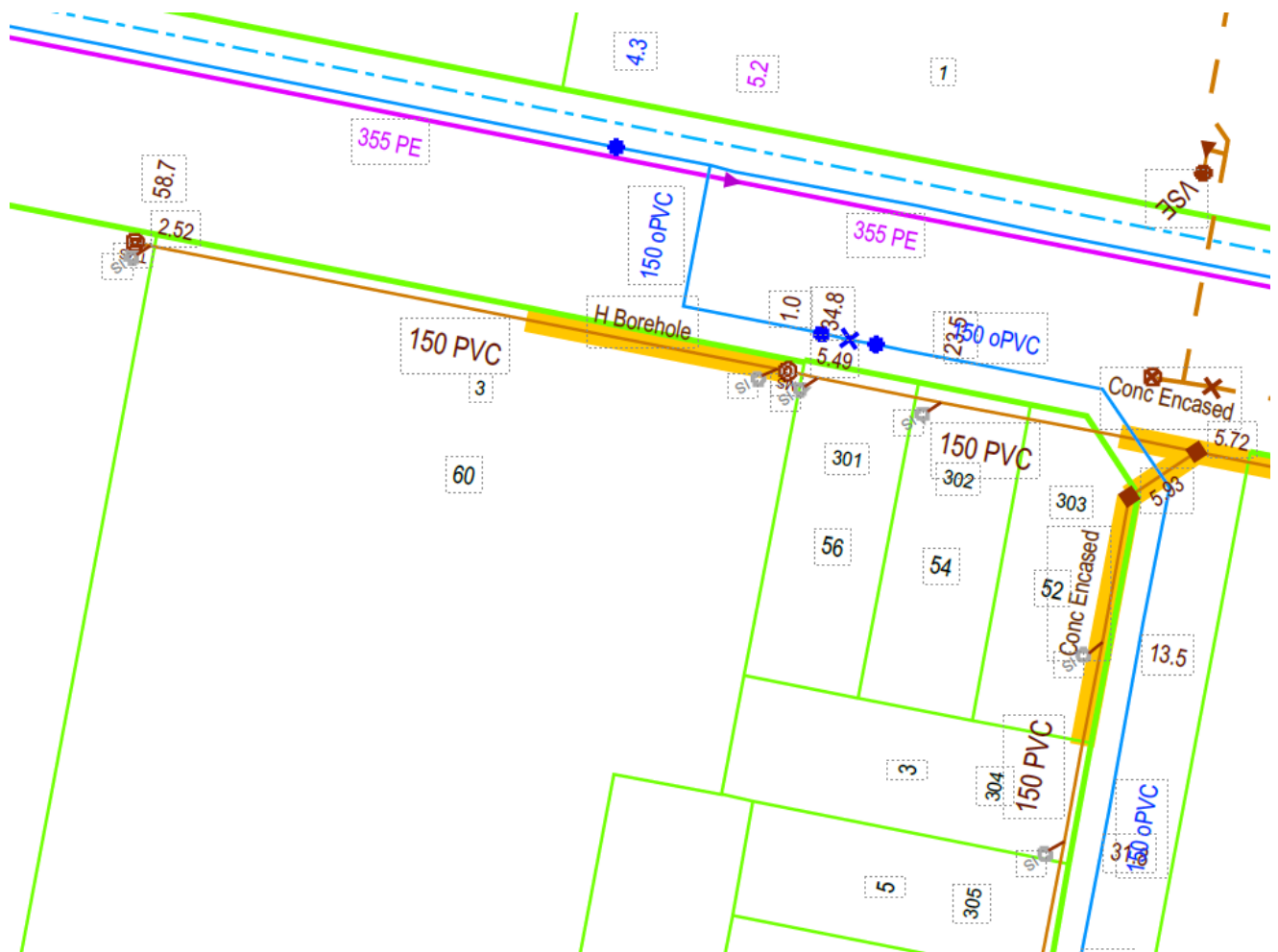


Figure 3. The arrangement of existing Sydney Water, available Sewer, located 400 East of the Site the available sewer access chamber is nominated at a depth of 5.72m below ground level

## SWC - WATER SUPPLY

The proposed development is currently located within the Cecil Park Water Supply Zone (WSZ). **Existing Network doesn't have capacity to service the development.** Sydney Water plans to deliver a DN300 amplification main along Gurner Ave to increase supply to the area. **This work is currently scheduled to be operational by the end of 2024, subject to funding approval.**

The amplification work is required to be delivered prior to servicing being available for this development. Once the DN300 is delivered in Gurner Ave the proposed development need to amplify existing DN100 in fourth Ave to **DN150** up to fronting their development for connection. Capacity will be confirmed and re-assessed during Section 73 application. Reticulation mains will be required to service each lot within the proposed development. Reticulation mains inside the development should be designed according to current WSA Code.

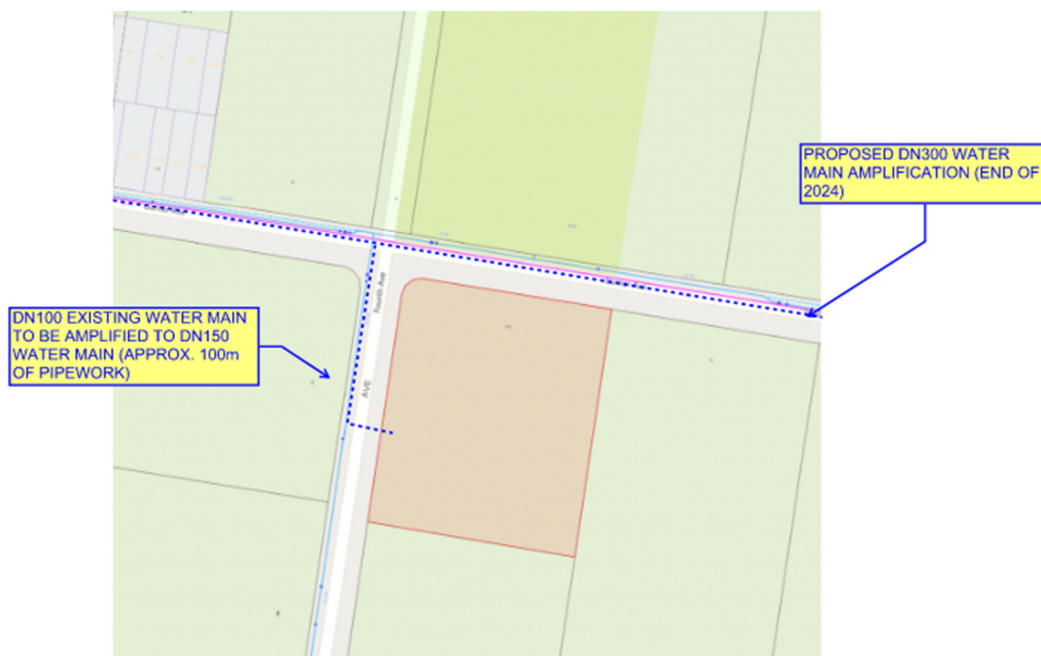


Figure 5. Arrangement of available Potable Water and Recycled Water mains fronting Fourth Avenue and Gurner Road.

## **SWC – FUNDING OF WORKS**

Under our 'Funding of infrastructure to service growth' policy we may agree to contribute towards a portion of the cost of the works you are required to build. This is done either by our Schedule of Rates or via the Procurement process. Your WSC can advise you in relation to this policy, the likelihood of us sharing a portion of the cost and the process you need to satisfy our probity requirements.

### **Infrastructure Contributions**

Infrastructure contributions for drinking water and wastewater will be payable on all developments that

require a Section 73 Compliance Certificate to be issued from 1 July 2024 onwards.

The infrastructure contributions are set in accordance with the Development Servicing Plans registered

with the Independent Pricing and Regulatory Tribunal (IPART) and in accordance with *Independent Pricing and Regulatory Tribunal Act*.

The contributions will be gradually reintroduced such that they will be capped at 25 percent in 2024-25

and 50 percent in 2025-26, with full contributions payable from 1 July 2026 onwards, in line with a transition plan approved by the NSW Government.

## **End of Report.**

Enclosed.

- Fire flow pressure inquire
- Rejection from SWC to connect to the recycled water main
- Attachment. – SWC Feasibility Letter of 29 January 2024.



henry&hymas



## Statement of Available Pressure and Flow

**Ferdinand Pollifrone**  
828 Pacific Highway  
Gordon, 2072

Attention: Ferdinand Pollifrone

Date: 13/11/2023

Pressure & Flow Application Number: 1761312

Your Pressure Inquiry Dated: 2023-10-23

Property Address: 495 Fourth Avenue, Austral 2179

The expected maximum and minimum pressures available in the water main given below relate to modelled existing demand conditions, either with or without extra flows for emergency fire fighting, and are not to be construed as availability for normal domestic supply for any proposed development.

### ASSUMED CONNECTION DETAILS

Street Name: Fourth Avenue	Side of Street: West
Distance & Direction from Nearest Cross Street	20 metres South from Gurner Avenue
Approximate Ground Level (AHD):	81 metres
Nominal Size of Water Main (DN):	100 mm

### EXPECTED WATER MAIN PRESSURES AT CONNECTION POINT

Normal Supply Conditions	
Maximum Pressure	77 metre head
Minimum Pressure	51 metre head

WITH PROPERTY FIRE PREVENTION SYSTEM DEMANDS	Flow l/s	Pressure head m
Fire Hose Reel Installations (Two hose reels simultaneously)	0.66	51
Fire Hydrant / Sprinkler Installations (Pressure expected to be maintained for 95% of the time)	10 15	41 28
Fire Installations based on peak demand (Pressure expected to be maintained with flows combined with peak demand in the water main)	10	32
Maximum Permissible Flow	15	18

(Please refer to reverse side for Notes)



henry&hymas

Sydney  
**WATER**

## Statement of available pressure and flow for recycled water application

Application number 1764553

16/11/2023

Dear Ferdinand Pollifrone

Your application for 91 Gurner Ave, Kemps Creek 2178 has been

### DECLINED

Please read the details below to understand the reasons why your application was declined.

### REASONS

Recycled Water Main is unavailable for connection

#### NEXT STEPS

If you have further questions please contact us

Email us [newcustomerconnections@sydneywater.com.au](mailto:newcustomerconnections@sydneywater.com.au)

Call us 1300 082 746



*henry&hymas*

**Sydney Water:** ADAM MCDOWELL

16-11-2023 09:30

Hi Ferdinand,

The requested 355 PE Recycled Water main is distribution trunk main, and so is not available for connection.

As we cannot process this application, we will reject this application and refund your application fees.

Kind regards,

Adam McDowell  
Sydney Water

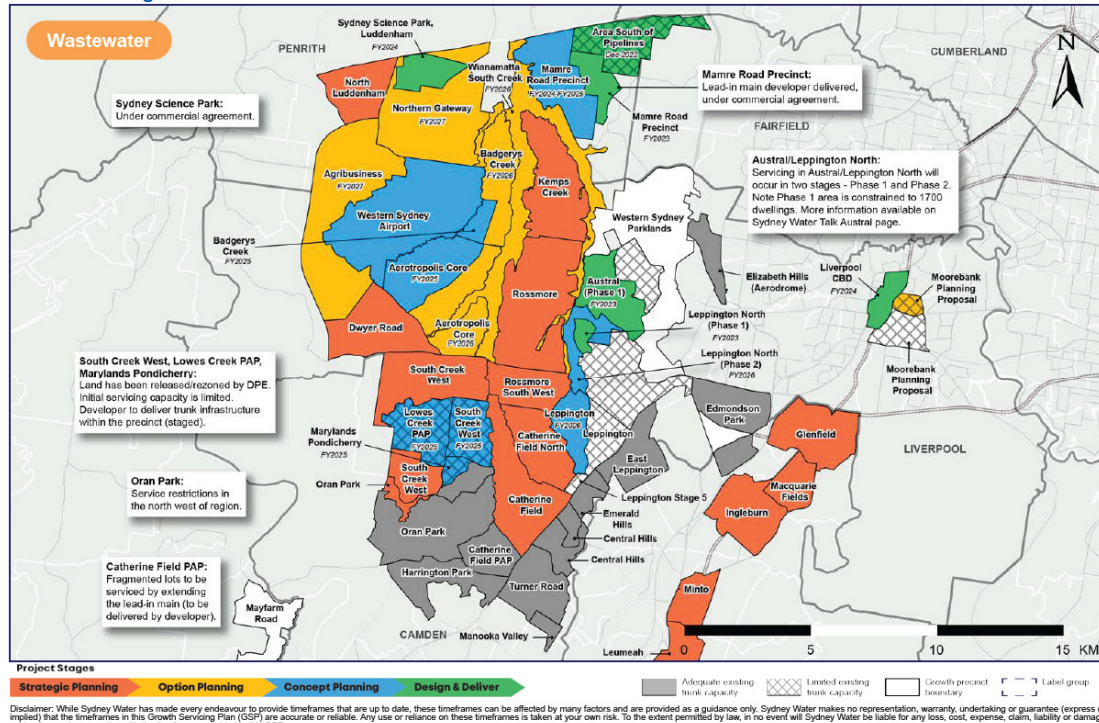
**Attachments (0)**



henry&hymas

## South West Region

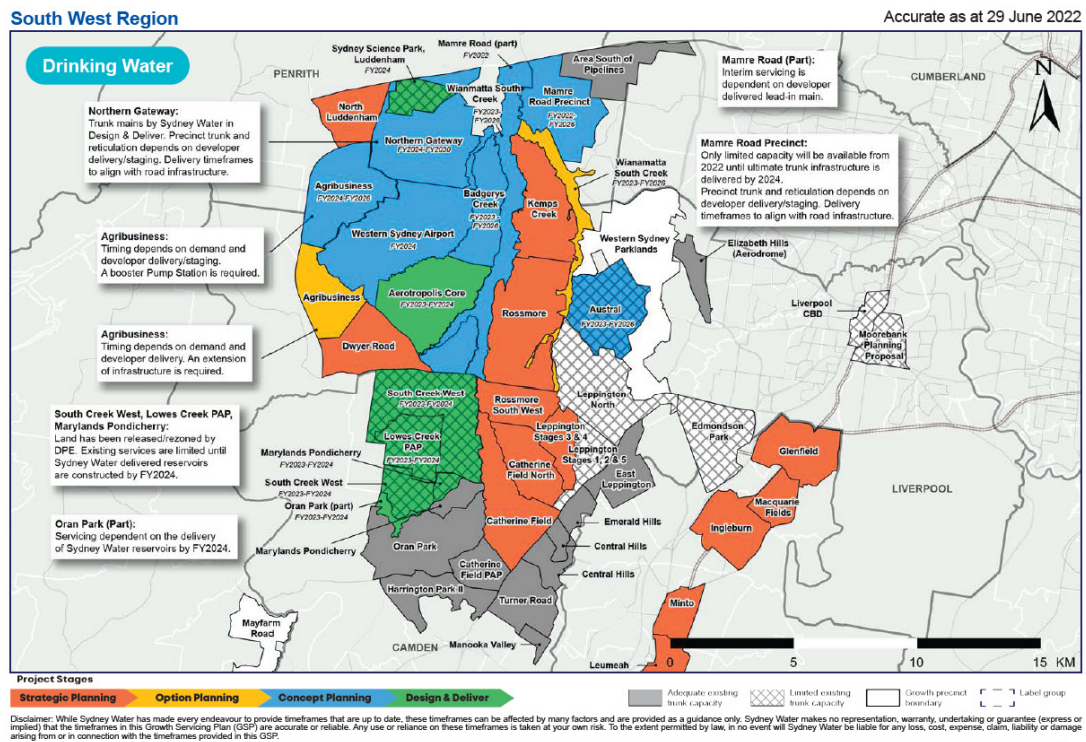
Accurate as at 29 June 2022



23 | Growth Servicing Plan 2022 – 2027

Figure 6 . Sewer - Exert from Sydney Water Growth Servicing Plan 2022-2027





22 | Growth Servicing Plan 2022 – 2027

Figure 7 . Water - Exert from Sydney Water Growth Serving Plan 2022-2027

End report enclosures.



Case Number: 211312

January 29, 2024

WOOLWORTHS LTD

c/- OPAL WATER MANAGEMENT PTY LTD

## Feasibility Letter

<b>Developer:</b>	<b>WOOLWORTHS LTD</b>
<b>Your reference:</b>	<b>OWM0906</b>
<b>Development:</b>	<b>Lot 121 DP1220414 495 Fourth Ave, Austral</b>
<b>Development Description:</b>	<b>•New Woolworths supermarket 3,700 sqm.</b> <ul style="list-style-type: none"><li><b>• BWS 275 sqm.</b></li><li><b>• Speciality Shops 1,615 sqm.</b></li><li><b>• Commercial Space 1,675 sqm.</b></li><li><b>• On grade Carpark - 336 Carpark Spaces.</b></li><li><b>• Basement Carpark – 232 Carpark Spaces, 7,200sqm.</b></li><li><b>• Total Area 14,465 sqm.</b></li></ul>
<b>Your application date:</b>	<b>December 8, 2023</b>

Dear Applicant

This Feasibility Letter (Letter) is a guide only. It provides general information about what our requirements could be if you applied to us for a Section 73 Certificate (Certificate) for your proposed development. **The information is accurate at today's date only.**

We have not allocated any system capacity to your proposal from the investigation into this Feasibility advice. This advice is only an indication of our systems and possible requirements as of today. Where there is system capacity, it may have been fully utilised by the time you obtain a Consent. The requirements applied to any approved Development proposal may differ significantly in the future since the original advice was issued.

If you obtain development consent for that development from your consent authority (this is usually your local Council) they will require you to apply to us for a Section 73 Certificate. You will need to submit a new application (and pay another application fee) to us for that Certificate by using your current or another Water Servicing Coordinator (WSC).

We'll then send you either a:

- Notice of Requirements (Notice) and Developer Works Deed (Deed)  
or
- Certificate.

These documents will be the definitive statement of our requirements.

There may be changes in our requirements between the issue dates of this Letter and the Notice or Certificate. The changes may be:

- if you change your proposed development eg the development description or the plan/site layout, after today, the requirements in this Letter could change when you submit your new application
- if you decide to do your development in stages then you must submit a new application (and pay another application fee) for each stage.

Infrastructure contributions for drinking water and wastewater will be payable on all developments that require a Section 73 Compliance Certificate to be issued from 1 July 2024 onwards. Infrastructure contributions help recover the cost of providing infrastructure to new developments. Please refer to the Costs section of this letter for more information.

**No warranties or assurances can be given about the suitability of this document or any of its provisions for any specific transaction. It does not constitute an approval from us and to the extent that it is able, we limit its liability to the reissue of this Letter or the return of your application fee. You should rely on your own independent professional advice.**

## What You Must Do To Get A Section 73 Certificate In The Future.

To get a Section 73 Certificate you must do the following things. You can also find out about this process by visiting [Plumbing, building & developing](#) page on our website.

1. **Obtain Development Consent from the consent authority for your development proposal.**
2. **Engage a Water Servicing Coordinator (WSC).**

**You must engage your current or another authorised WSC** to manage the design and construction of works that you must provide, at your cost, to service your development. If you wish to engage another WSC (at any point in this process) you must write and tell us.

You'll find a list of WSC's at [Listed providers](#) on our website.

The WSC will be your point of contact with us. They can answer most questions that you might have about the process and developer charges and can give you a quote or information about costs for services/works (including our costs).

### 3. **Developer Works Deed**

**After** the WSC has submitted your new application, they'll receive the our Notice and Developer Works Deed. You and your accredited Developer Infrastructure Providers (Providers) will need to sign and lodge both copies of the Deed with your nominated Coordinator. After we've signed the documents, one copy will be returned to the WSC.

The Deed sets out for this project:

- your responsibilities
- our responsibilities
- the Provider's responsibilities.

**You must do all the things that we ask you to do in that Deed.** This is because your development does not have water and sewer services and you must construct and pay for the following works extensions under this Deed to provide these services.

**Note:** The Coordinator must be fully authorised by us for the whole time of the agreement.

## 4. Water and Sewer Works

### 4.1 Water

Your development must have a frontage to a water main that is the right size and can be used for connection.

We've assessed your application and found that:

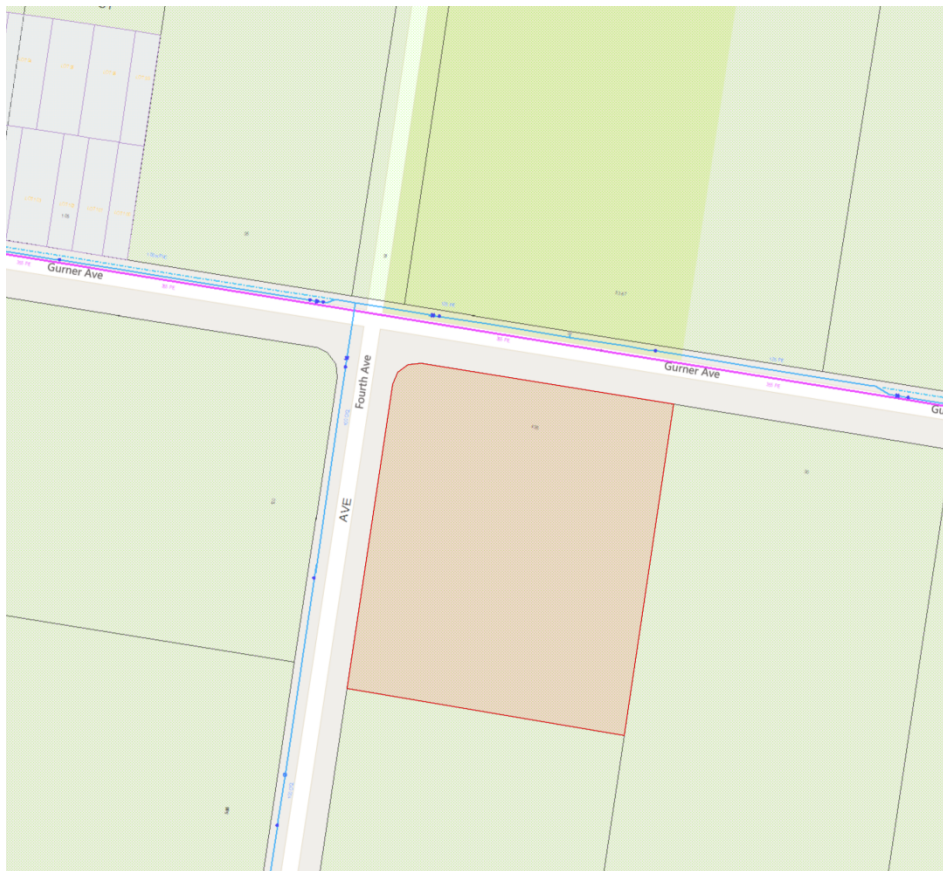


Figure 1 – Proposed Development

The proposed development is currently located within the Cecil Park Water Supply Zone (WSZ).

**Existing Network doesn't have capacity to service the development.** Sydney Water plans to deliver a DN300 amplification main along Gurner Ave to increase supply to the area. **This work is currently scheduled to be operational by the end of 2024, subject to funding approval.**

The amplification work is required to be delivered prior to servicing being available for this development. Once the DN300 is delivered in Gurner Ave the proposed development need to amplify existing DN100 in fourth Ave to DN150 up to fronting their development for connection.

Capacity will be confirmed and re-assessed during Section 73 application. Reticulation mains will be required to service each lot within the proposed development. Reticulation mains inside the development should be designed according to current WSA Code.

**Please refer to Large water connection in other things to do.**

## 4.2 Sewer

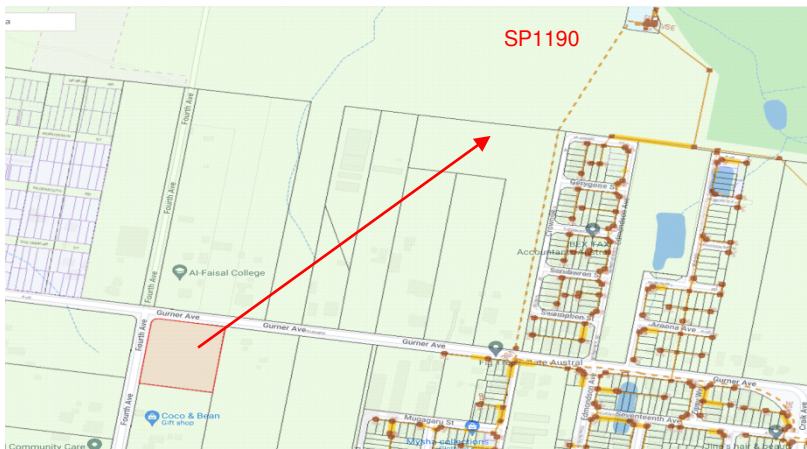
Your development must have a sewer main that is the right size and can be used for connection. That sewer must also have a connection point within your development's boundaries.

We've assessed your application and found that:

Proposed development falls within the existing SP1190 catchment. **A lead-in extension is required to service the land.** WSC need to coordinate with downstream developments in the Gurner Ave for the lead-in main extension from SP1190 upstream section.

A natural catchment plan, flow schedule and sewer long section detail is required for the extension.

The design needs to meet Sydney Water standard.



## Approval of your building plans

Please note that your building plans must be approved. This can be done on our Tap in™ system [Sydney Water Tap in](#)™ or call 13 20 92.

This is not a requirement of the Certificate, but the approval is needed because construction/building works may impact on our existing assets (e.g. water and sewer mains). In any case, these works MUST NOT commence until we have granted approval.

Your WSC can tell you about the approval process including:

- Possible requirements
- Their costs
- Timeframes.

We recommend that you apply for Building Plan Approval early as in some instances your WSC may need to refer your building plans to us for detailed review. You'll be required to pay us for the costs associated with the detailed review.

**Note: You must obtain our written approval before you do any work on our systems. We'll take action to have work stopped on the site if you do not have that approval. We will apply Section 44 of the *Sydney Water Act 1994*.**

## Funding of works

Under our 'Funding of infrastructure to service growth' policy we may agree to contribute towards a portion of the cost of the works you are required to build. This is done either by our Schedule of Rates or via the Procurement process. Your WSC can advise you in relation to this policy, the likelihood of us sharing a portion of the cost and the process you need to satisfy our probity requirements.



If you do choose to request a quote through the Schedule of Rates for our contribution you will avoid going through the full procurement process. Your WSC can advise you of this option.

The funding assessment will be made at the detailed design stage, prior to any construction works commencing. A firm commitment would not be made by us until we:

- Have reviewed the detailed design
- Have reviewed the detailed construction quotations needed to meet our probity requirements
- Come to an agreement on the amount.

## 5. Ancillary Matters

### 5.1 Asset adjustments

After we issue this Notice (and more detailed designs are available), we may require that the water main/sewer main/stormwater located in the footway/your property needs to be adjusted/deviated. If this happens, you'll need to do this work as well as the extension we have detailed above at your cost. The work must meet the conditions of this Notice and you will need to complete it **before we can issue the Certificate**. We'll need to see the completed designs for the work, and we'll require you to lodge a security. The security will be refunded once the work is completed.

### 5.2 Entry onto neighbouring property

If you need to enter a neighbouring property, you must have the written permission of the relevant property owners and tenants. You must use our **Permission to Enter** form(s) for this. You can get copies of these forms from your WSC or on our website. Your WSC can also negotiate on your behalf. Please make sure that you address all the items on the form(s) including payment of compensation and whether there are other ways of designing and constructing that could avoid or reduce their impacts. You will be responsible for all costs of mediation involved in resolving any disputes. Please allow enough time for entry issues to be resolved.

### 5.3 Costs

Construction of these **future** works will require you to pay project management, survey, design, and construction costs **directly to your suppliers**. Additional costs payable to us may include:

- water main shutdown and disinfection
- connection of new water mains to our system(s)
- design and construction audit fees
- contract administration, Operations Area Charge & Customer Redress prior to project finalisation
- creation or alteration of easements etc
- water usage charges where water has been supplied for building activity purposes prior to disinfection of a newly constructed water main.

Note: Payment for any Goods and Services (including Customer Redress) provided by Sydney Water will be required prior to the issue of the Section 73 Certificate or release of the Bank Guarantee or Cash Bond.

Your WSC can tell you about these costs.

## Infrastructure Contributions

Infrastructure contributions for drinking water and wastewater will be payable on all developments that require a Section 73 Compliance Certificate to be issued from 1 July 2024 onwards.

The infrastructure contributions are set in accordance with the Development Servicing Plans registered with the Independent Pricing and Regulatory Tribunal (IPART) and in accordance with *Independent Pricing and Regulatory Tribunal Act*.

The contributions will be gradually reintroduced such that they will be capped at 25 percent in 2024-25 and 50 percent in 2025-26, with full contributions payable from 1 July 2026 onwards, in line with a transition plan approved by the NSW Government.

You can find more information on the reintroduction of drinking water and wastewater contributions at <https://www.sydneywatertalk.com.au/infrastructure-contributions>.



If applicable, Sydney Water will confirm the amount of the infrastructure contribution for your development, we anticipate this information will be available in late 2023.

### **OTHER THINGS YOU MAY NEED TO DO**

Shown below are other things you need to do that are NOT a requirement for the Certificate. They may well be a requirement from us in the future because of the impact of your development on our assets. You must read them before you go any further.

#### **Disused Sewerage Service Sealing**

Please do not forget that you must pay to disconnect all disused private sewerage services and seal them at the point of connection to our sewer main. This work must meet our standards in the Plumbing Code of Australia (the Code) and be done by a licensed drainer. The licensed drainer must arrange for an inspection of the work by a NSW Fair Trading Plumbing Inspection Assurance Services (PIAS) officer. After that officer has looked at the work, the drainer can issue the Certificate of Compliance. The Code requires this.

#### **Soffit Requirements**

Please be aware that floor levels must be able to meet our soffit requirements for property connection and drainage.

#### **Requirements for Business Customers for Commercial and Industrial Property Developments**

If this property is to be developed for Industrial or Commercial operations, it may need to meet the following requirements:

#### **Trade Wastewater Requirements**

If this development is going to generate trade wastewater, the property owner must submit an application requesting permission to discharge trade wastewater to Sydney Water's sewerage system. You must wait for approval of this permit before any business activities can commence.

The permit application should be emailed to Sydney Water's Business Customer Services at [businesscustomers@sydneywater.com.au](mailto:businesscustomers@sydneywater.com.au)

It is illegal to discharge Trade Wastewater into the Sydney Water sewerage system without permission.

A **Boundary Trap** is required for all developments that discharge trade wastewater where arrestors and special units are installed for trade wastewater pre-treatment.

If the property development is for Industrial operations, the wastewater may discharge into a sewerage area that is subject to wastewater reuse. Find out from Business Customer Services if this is applicable to your development.

### **Backflow Prevention Requirements**

Backflow is when there is unintentional flow of water in the wrong direction from a potentially polluted source into the drinking water supply.

All properties connected to Sydney Water's supply must install a testable **Backflow Prevention Containment Device** appropriate to the property's hazard rating. Property with a high or medium hazard rating must have the backflow prevention containment device tested annually. Properties identified as having a low hazard rating must install a non-testable device, as a minimum.

Separate hydrant and sprinkler fire services on non-residential properties, require the installation of a testable double check detector assembly. The device is to be located at the boundary of the property.

Before you install a backflow prevention device:

1. Get your hydraulic consultant or plumber to check the available water pressure versus the property's required pressure and flow requirements.
2. Conduct a site assessment to confirm the hazard rating of the property and its services.  
Contact PIAS at NSW Fair Trading on **1300 889 099**.

For installation you will need to engage a licensed plumber with backflow accreditation. Visit [www.sydneywater.com.au](http://www.sydneywater.com.au) > [Plumbing, building & developing](#) > Plumbing > Backflow prevention to find a plumber.

### **Water Efficiency Recommendations**

Water is our most precious resource and every customer can play a role in its conservation. By working together with Sydney Water, business customers are able to reduce their water consumption. This will help your business save money, improve productivity and protect the environment.

Some water efficiency measures that can be easily implemented in your business are:

- Install water efficiency fixtures to help increase your water efficiency. Visit [www.waterrating.gov.au/](http://www.waterrating.gov.au/) to take you to the WELS (Water Efficiency Labelling and Standards (WELS) Scheme
- Consider installing rainwater tanks to capture rainwater runoff, and reusing it, where cost effective. Visit [www.sydneywater.com.au](http://www.sydneywater.com.au) > [Plumbing, building & developing](#) > Plumbing > Rainwater tanks
- Install water-monitoring devices on your meter to identify water usage patterns and leaks.
- Develop a water efficiency plan for your business.

It is cheaper to install water efficiency appliances while you are developing than retrofitting them later.

## Fire Fighting

Definition of fire fighting systems is the responsibility of the developer and is not part of the Section 73 process. It is recommended that a consultant should advise the developer regarding the fire fighting flow of the development and the ability of our system to provide that flow in an emergency. Sydney Water's Operating Licence directs that our mains are only required to provide domestic supply at a minimum pressure of 15 m head.

A report supplying modelled pressures called the Statement of Available pressure can be purchased through [Sydney Water Tap in](#)™ and may be of some assistance when defining the fire fighting system. The Statement of Available pressure may advise flow limits that relate to system capacity or diameter of the main and pressure limits according to pressure management initiatives. If mains are required for fire fighting purposes, the mains shall be arranged through the water main extension process and not the Section 73 process.

## Large Water Service Connection

A water main will be available, once you have completed your drinking water main construction to provide your development with a domestic supply. The size of your development means that you will need a connection larger than the standard domestic 20 mm size.

To get approval for your connection, you will need to lodge an application with [Sydney Water Tap in](#)™. You, or your hydraulic consultant, may need to supply the following:

- a plan of the hydraulic layout
- a list of all the fixtures/fittings within the property
- a copy of the fireflow pressure inquiry issued by us
- a pump application form (if a pump is required)
- all pump details (if a pump is required).

You'll have to pay an application fee.

We don't consider whether a water main is adequate for fire fighting purposes for your development. We can't guarantee that this water supply will meet your Council's fire fighting requirements. The Council and your hydraulic consultant can help.

### **Disused Water Service Sealing**

You must pay to disconnect all disused private water services and seal them at the point of connection to our water main. This work must meet our standards in the Plumbing Code of Australia (the Code) and be done by a licensed plumber. The licensed plumber must arrange for an inspection of the work by a NSW Fair Trading Plumbing Inspection Assurance Services (PIAS) officer. After that officer has looked at the work, the drainer can issue the Certificate of Compliance. The Code requires this.

### **Other fees and requirements**

The requirements in this Notice relate to your Certificate application only. We may be involved with other aspects of your development and there may be other fees or requirements. These include:

- plumbing and drainage inspection costs
- the installation of backflow prevention devices;
- trade waste requirements
- large water connections and
-

- council fire fighting requirements. (It will help you to know what the fire fighting requirements are for your development as soon as possible. Your hydraulic consultant can help you here.)

**No warranties or assurances can be given about the suitability of this document or any of its provisions for any specific transaction. It does not constitute an approval from us and to the extent that it is able, we limit its liability to the reissue of this Letter or the return of your application fee. You should rely on your own independent professional advice.**

---

**END**

## **APPENDIX C - NBN SERVICES**



Austral North Woolworths  
230144 | 495 Fourth Avenue, Austral NSW 2179

# Architectural DA Cover Page

REV P1 15.12.2023  
|

DA Sheets (Architectural)

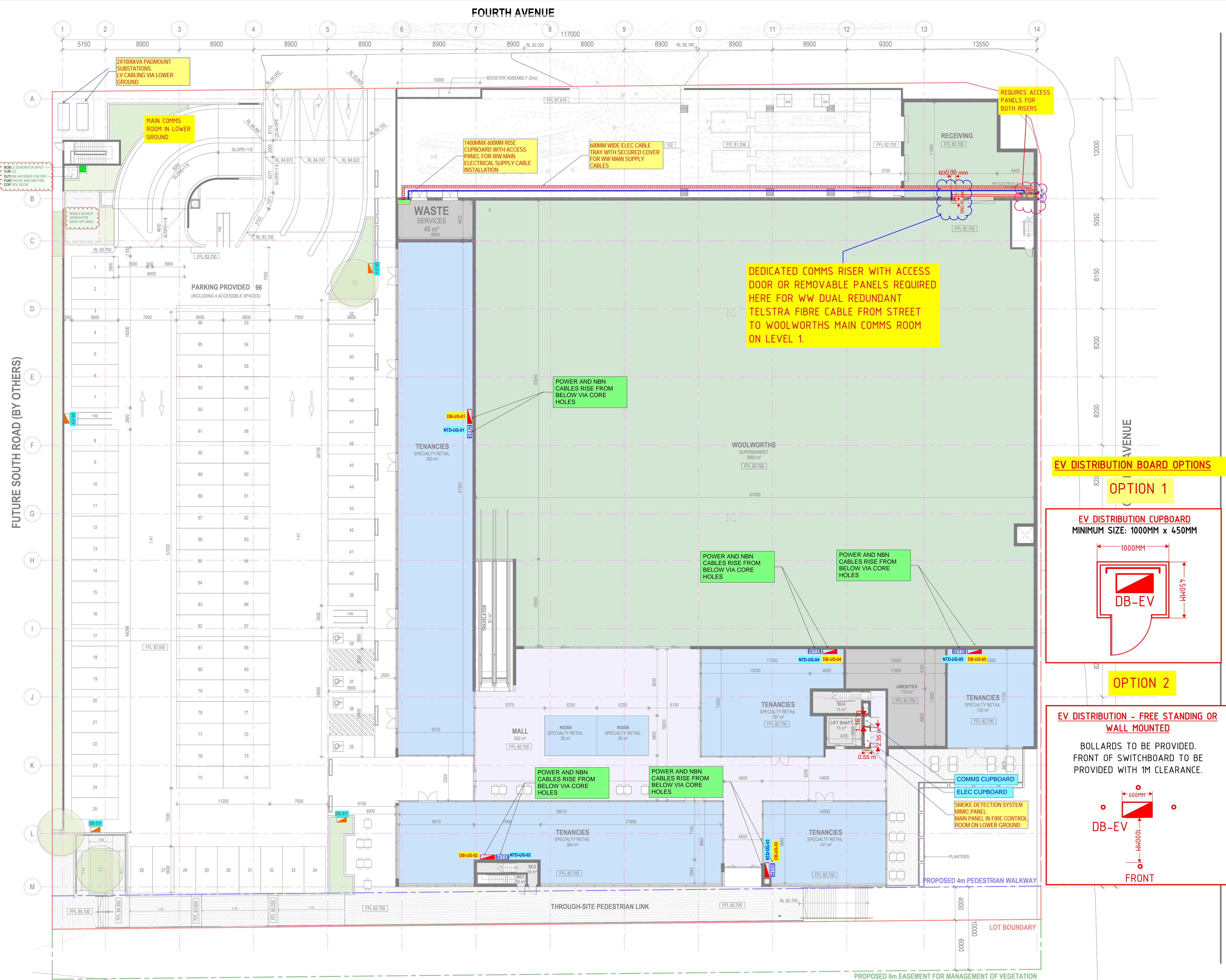
DA1.0	P1	Architectural DA Cover Page	15.12.2023
DA1.1		Development Information	
DA2.1		Location Plan	
DA2.2		Existing Site Plan / Site Analysis	
DA2.3		Demolition Plan	
DA2.4		Proposed Site Plan	
DA3.1	P1	Lower Ground Floor Plan	15.12.2023
DA3.2	P1	Upper Ground Floor Plan	15.12.2023
DA3.3	P1	First Floor Plan	15.12.2023
DA3.4	P1	Roof Plan	15.12.2023
DA4.1		Building Elevations - Sheet 1	
DA4.2		Building Elevations - Sheet 2	
DA5.1		Building Sections - Sheet 1	
DA6.1		Finishes Schedule	
DA7.1		Signage Location Site Plan	
DA7.2		Signage Details	
DA8.1		Shadow Diagrams	
DA9.1		3D Perspectives - Sheet 1	
DA9.2		3D Perspectives - Sheet 2	
DA9.3		3D Perspectives - Sheet 3	

Date:	20/12/2023	Project No:	232305
Project:	Austral North Woolworth		
Title:	Electrical Services Updated Spatial Requirements		
Drawing No:	ESK-01	Revision:	C
Drawn:	IK/HK	Scale:	AS SHOWN









GLAR Summary	
Function	Area
COMMERCIAL	1727 m²
SPECIALTY RETAIL	1838 m²
SUPERMARKET	4014 m²
Grand total	7580 m²

GLAR Retail Only	
Name	Area
SPECIALTY RETAIL	
KIOSK	60 m²
TENANCIES	1778 m²
9	1838 m²
SUPERMARKET	
DTB	142 m²
S/M MEZZANINE	189 m²
WOOLWORTHS	3683 m²
3	4014 m²
Grand total	5852 m²

GLAR Commercial Only	
Name	Area
Lower Ground	
COMMERCIAL	339 m²
Level 1	
COMMERCIAL	1388 m²
Grand total	1727 m²

PARKING	
RETAIL (5/100 BAYS)	293
COMMERCIAL (3/100 BAYS)	52
PARKING REQUIRED	345
PARKING PROVIDED	334
TROLLEY BAYS REQUIRED (1/40 CAR SPACES)	9

**Clarke Hopkins Clarke**  
www.chc.com.au | studio@chc.com.au | 03 9419 4340  
NSW Nominated Architect: Jordan Curran (10259)  
Job No. 230144  
Austral North Woolworths  
495 Fourth Avenue, Austral NSW 2179



PRELIMINARY

## Upper Ground Floor Plan

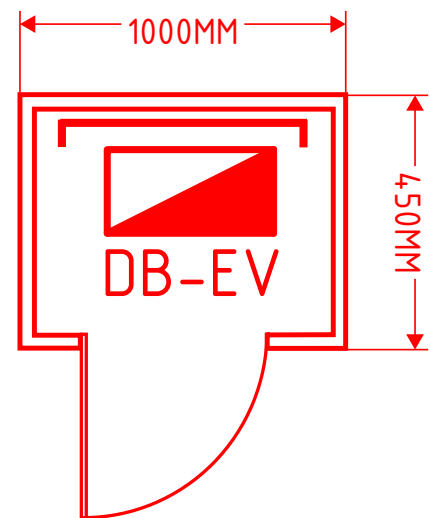
15.12.2023

# DA3.2 P1

### EV DISTRIBUTION BOARD OPTIONS

#### OPTION 1

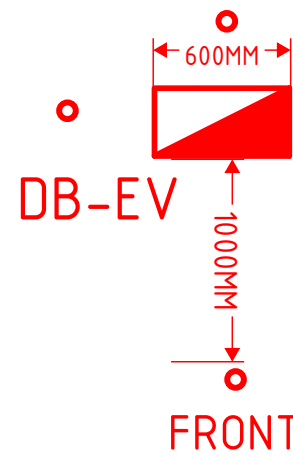
EV DISTRIBUTION CUPBOARD  
MINIMUM SIZE: 1000MM x 450MM



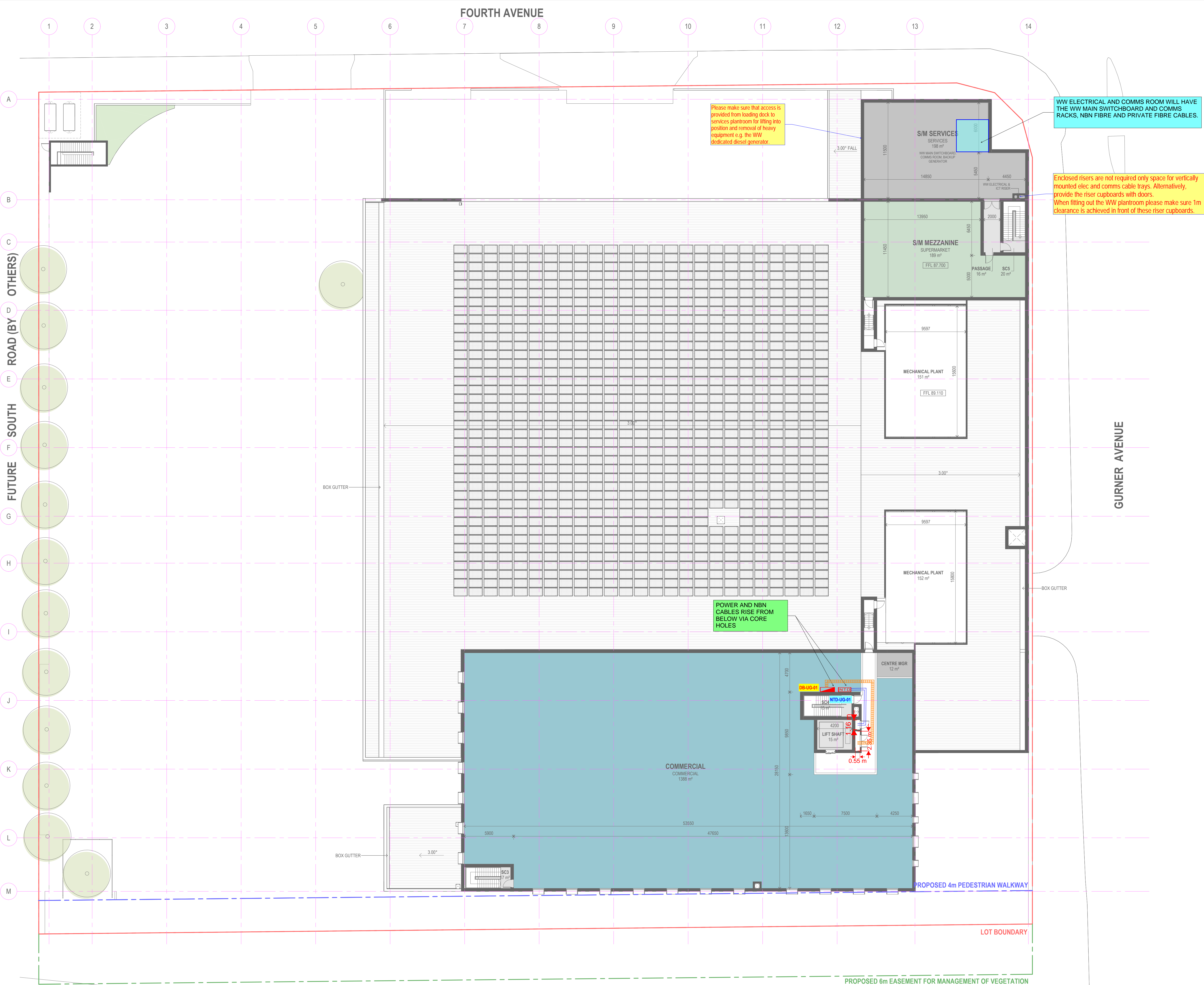
#### OPTION 2

EV DISTRIBUTION - FREE STANDING OR  
WALL MOUNTED

BOLLARDS TO BE PROVIDED.  
FRONT OF SWITCHBOARD TO BE  
PROVIDED WITH 1M CLEARANCE.







GLAR Summary	
Function	Area
COMMERCIAL	1727 m²
SPECIALTY RETAIL	1838 m²
SUPERMARKET	4014 m²
Grand total	7580 m²

GLAR Retail Only	
Name	Area
SPECIALTY RETAIL	
KIOSK	60 m²
TENANCIES	1778 m²
9	1838 m²
SUPERMARKET	
DTB	142 m²
S/M MEZZANINE	189 m²
WOOLWORTHS	3683 m²
3	4014 m²
Grand total	5852 m²

GLAR Commercial Only	
Name	Area
Lower Ground	
COMMERCIAL	339 m²
Level 1	
COMMERCIAL	1388 m²
Grand total	1727 m²

PARKING	
RETAIL (5/100 BAYS)	293
COMMERCIAL (3/100 BAYS)	52
PARKING REQUIRED	345
PARKING PROVIDED	334
TROLLEY BAYS REQUIRED (1/40 CAR SPACES)	9

ClarkeHopkinsClarke

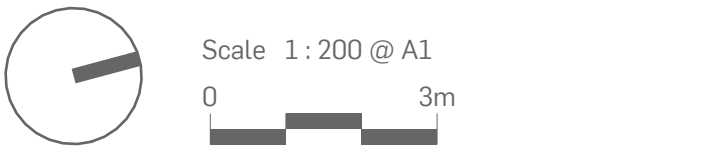
www.chc.com.au | studio@chc.com.au | 03 9419 4340

NSW Nominated Architect: Jordan Curran (10259)

Job No. 230144

Austral North Woolworths

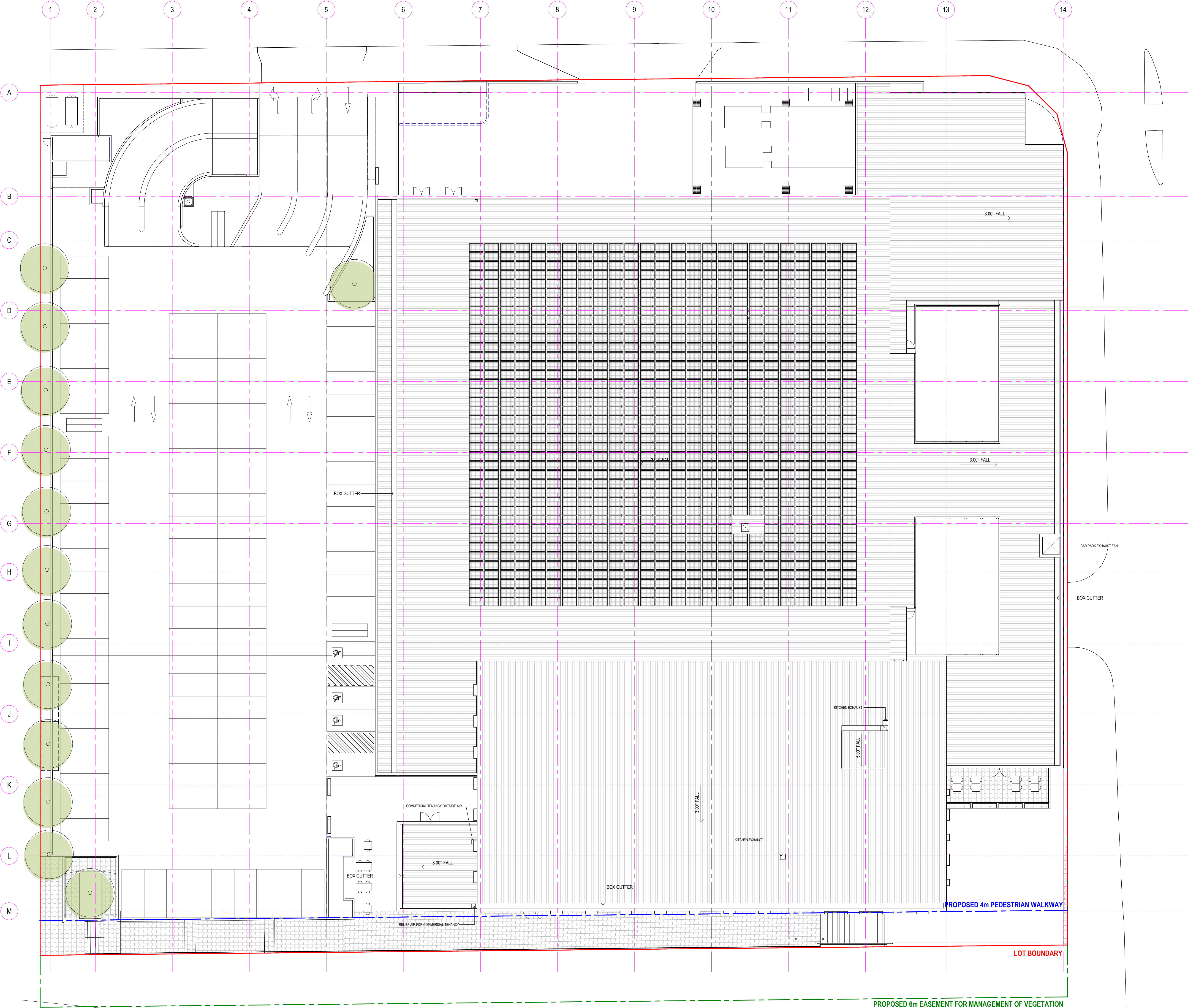
495 Fourth Avenue, Austral NSW 2179



## PRELIMINARY

### First Floor Plan





GLAR Summary	
Function	Area
COMMERCIAL	1727 m²
SPECIALTY RETAIL	1838 m²
SUPERMARKET	4014 m²
Grand total	7580 m²

GLAR Retail Only	
Name	Area
SPECIALTY RETAIL	
KIOSK	60 m²
TENANCIES	1778 m²
9	1838 m²
SUPERMARKET	
DTB	142 m²
S/M MEZZANINE	189 m²
WOOLWORTHS	3683 m²
3	4014 m²
Grand total	5852 m²

GLAR Commercial Only	
Name	Area
Lower Ground	
COMMERCIAL	339 m²
Level 1	
COMMERCIAL	1388 m²
Grand total	1727 m²

PARKING	
RETAIL (5/100 BAYS)	293
COMMERCIAL (3/100 BAYS)	52
PARKING REQUIRED	345
PARKING PROVIDED	334
TROLLEY BAYS	
REQUIRED (1/40 CAR SPACES)	9

Clarke  
Hopkins  
Clarke

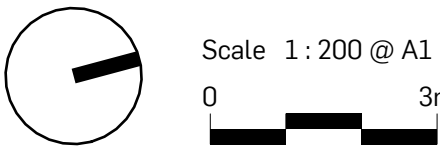
www.chc.com.au | studio@chc.com.au | 03 9419 4340

NSW Nominated Architect: Jordan Curran (10259)

Job No. 230144

Austral North Woolworths

495 Fourth Avenue, Austral NSW 2179



PRELIMINARY

## Roof Plan

15.12.2023

DA3.4 P1